



COPPERMINE
COMMONS

Discover Untapped Opportunity

Situated in the heart of the Dulles Technology Corridor, Coppermine Commons consists of three best-in-class office buildings. The 608,000-square-foot park is located just minutes from the Dulles International Airport and two of the region's largest demand drivers including the National Reconnaissance Office and the CIA campus.

Campus Overview

- Unparalleled \$12 million renovation completed
- Dramatic exterior design of precast and glass
- Class A finishes throughout the lobbies and interiors
- Significantly greater cooling capacity for technology uses
- Clear ceiling heights of 10 feet
- 42' x 30' column spacing
- Beautifully landscaped park
- Athletic facility including tennis + basketball courts
- Above market parking ratio of 3.7 per 1,000 SF
- Prime Dulles Corridor location
- Less than one mile to the Dulles International Airport
- Proximate to the hotels, restaurants, retail and residential areas
- Fiber-rich location with more than a dozen providers surrounding the park which afford tenants a wide array of options





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Transforming Your Workspace

Coppermine Commons is the ideal work habitat for the business that works hard, but welcomes time to recharge and create a larger sense of community. Scope of \$12 million exterior and interior renovations includes:

- Expansive outdoor tenant lounge
- Extensive health club and spa
- Conference facility w/ break-out rooms
- Large dining area to seat 300 people
- Substantial upgrades in the lobby and restrooms



Building Lobby



On-Site Cafeteria





Outdoor Lounge



Conference Lounge



Conference Facility



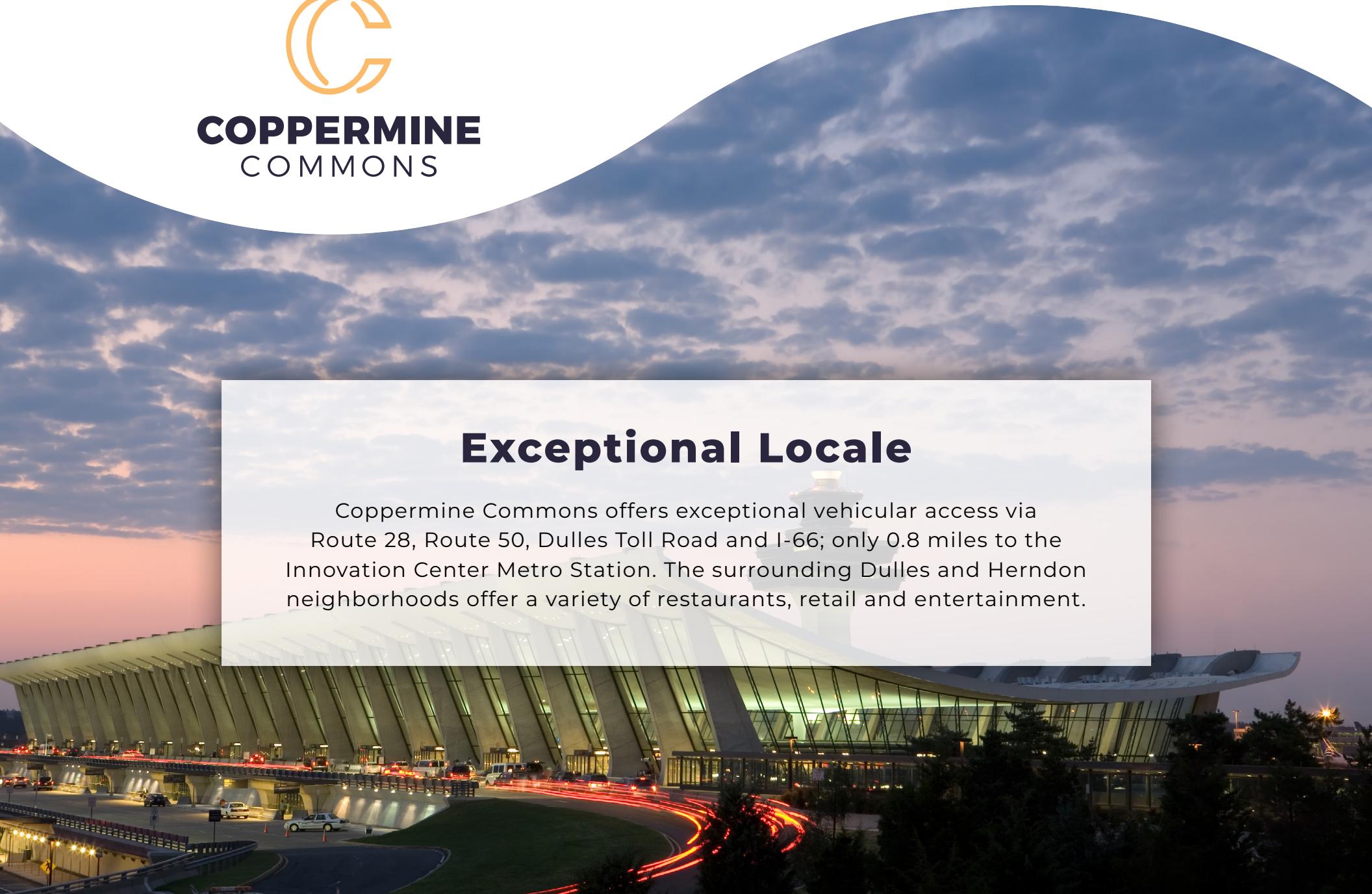
Fitness Facility

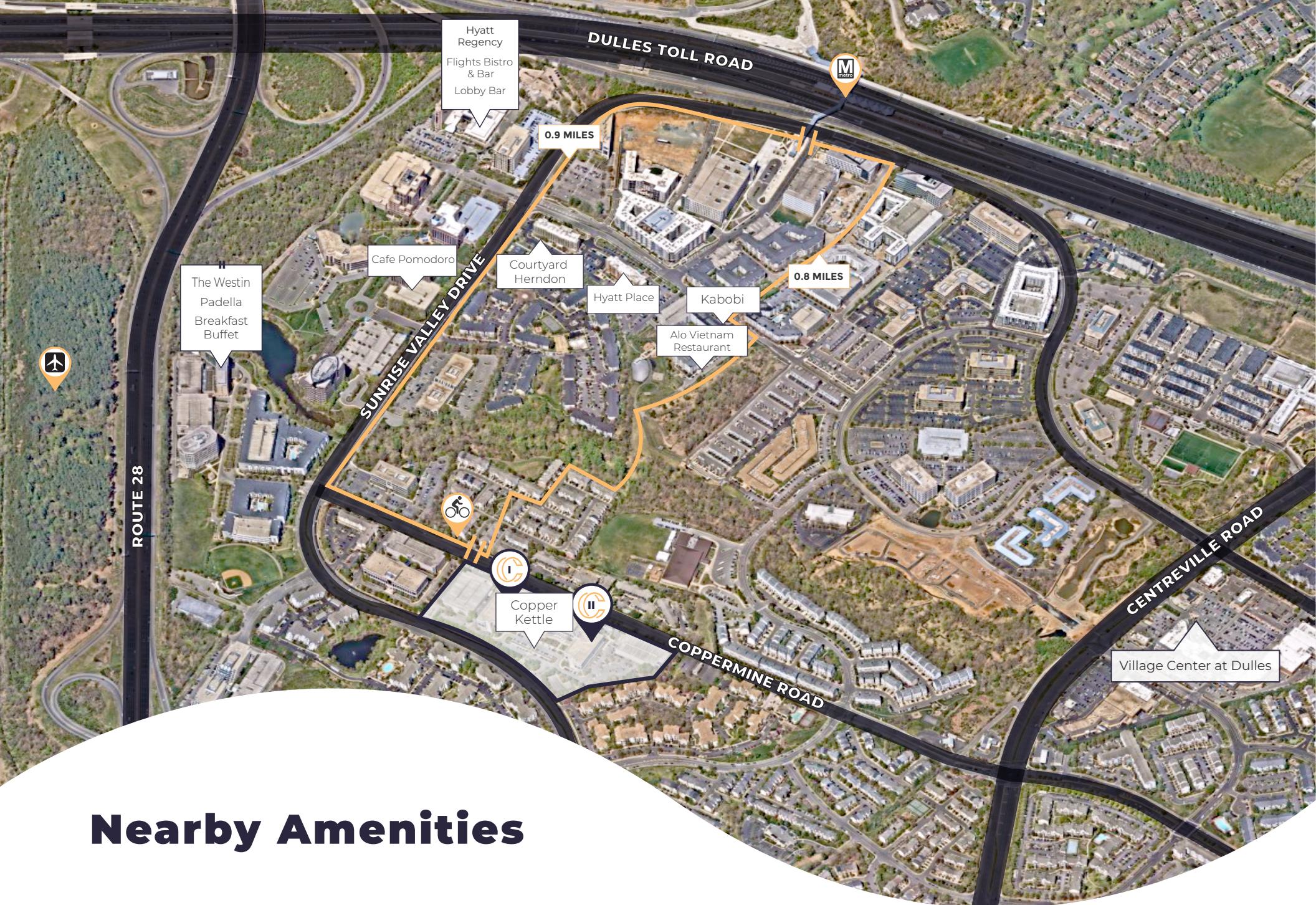


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Exceptional Locale

Coppermine Commons offers exceptional vehicular access via Route 28, Route 50, Dulles Toll Road and I-66; only 0.8 miles to the Innovation Center Metro Station. The surrounding Dulles and Herndon neighborhoods offer a variety of restaurants, retail and entertainment.







Location Amenities



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13861 Sunrise Valley Drive

Class:

A

RBA:

211,813 SF

Year Built / Ren.

1999 / 2019

Typical Floor:

55,900 SF

Stories:

4

Column Spacing:

42' x 30'

Finished Ceiling:

10'

Parking:

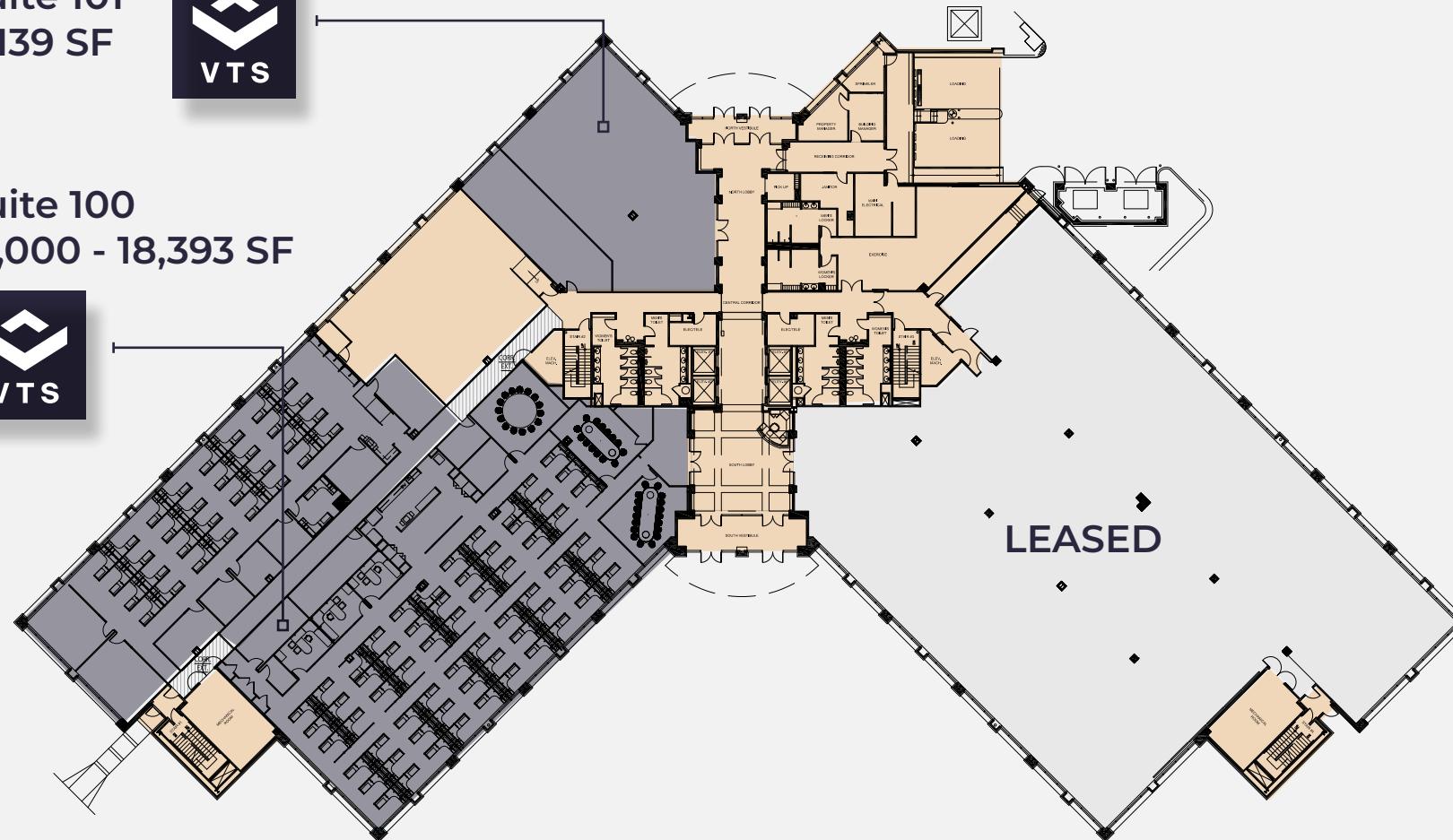
3.7 per 1,000 SF



**Suite 101
4,139 SF**



**Suite 100
15,000 - 18,393 SF**



Site Plan Key

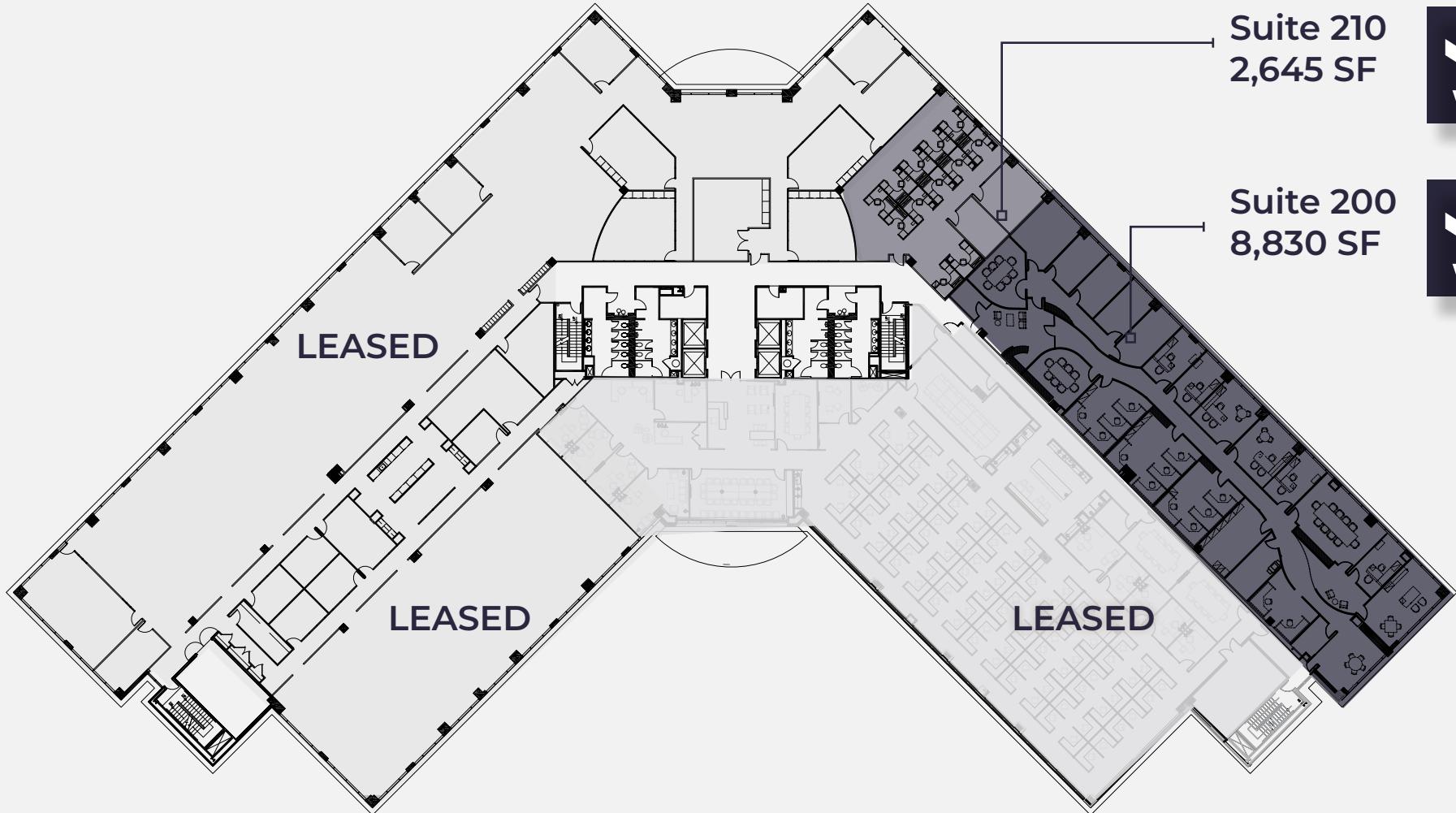


13861 Sunrise Valley Drive

CC1 | 1st Floor | 22,532 SF



AVISON
YOUNG



13861 Sunrise Valley Drive
CCI | 2nd Floor | Up to 11,475 SF

Site Plan Key





13861 Sunrise Valley Drive
CC1 | 4th Floor | 10,264 SF

Site Plan Key





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13865 Sunrise Valley Drive

Class:

A

RBA:

189,694 SF

Year Built / Ren.

2000 / 2019

Typical Floor:

54,800 SF

Stories:

4

Column Spacing:

42' x 30'

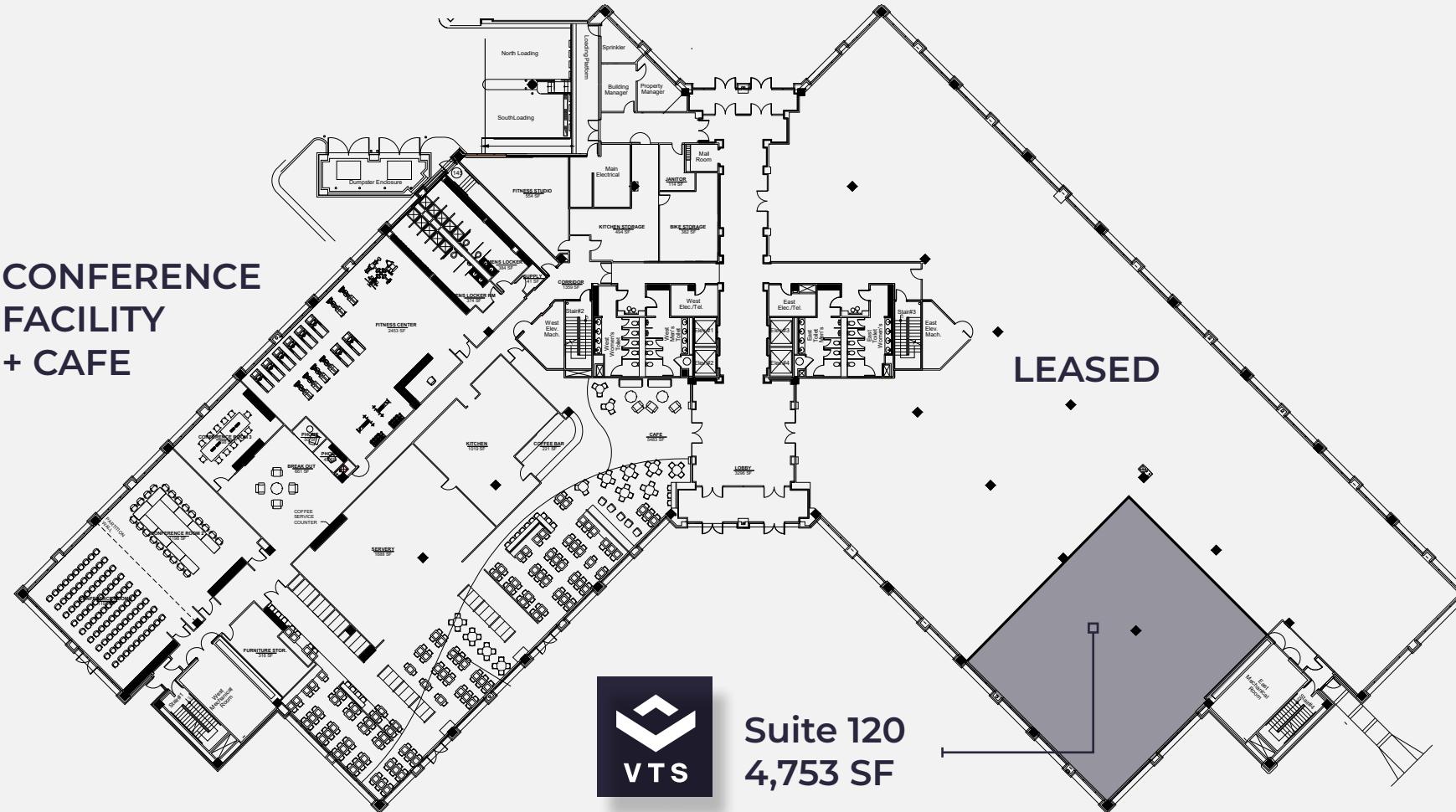
Finished Ceiling:

10'

Parking:

3.7 per 1,000 SF

**CONFERENCE
FACILITY
+ CAFE**



13865 Sunrise Valley Drive
CCII | 1st Floor | 4,753 SF

Site Plan Key





Owners



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Leasing Team



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